

## 12.3302 Exception 3302

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### **12.3302.1 The lands shall only be used for the following purposes:**

- .1 townhouse dwellings; and,
- .2 purposes accessory to the other permitted purpose.

### **12.3302.2 The lands shall be subject to the following requirements and restrictions:**

- .1 a maximum of 60 townhouse dwelling units shall be permitted;
- .2 no parking areas shall be located closer than 3.0 metres to any lands zoned OS;
- .3 no buildings or structures shall be located closer than 7.5 metres to any lands zoned OS;
- .4 no building or structure shall be located closer to any property boundary than 7.5 metres;
- .5 the Maximum Number of Dwelling Units per townhouse dwelling shall be 8; and,
- .6 all buildings shall be setback a minimum distance of 14.0 metres from Steeles Avenue.

## 12.3304 Exception 3304

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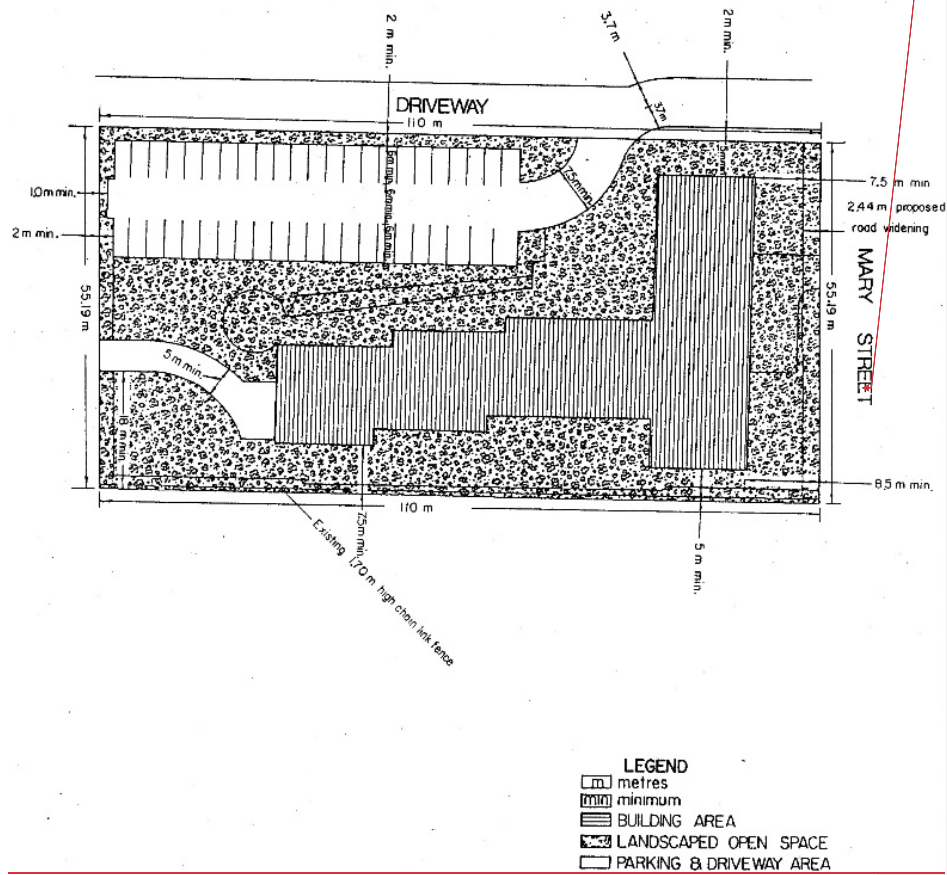
### 12.3304.1 The lands shall only be used for the following purposes:

- .1 senior citizens' apartment dwelling; and,
- .2 purposes accessory to the other permitted purpose.

### 12.3304.2 The lands shall be subject to the following requirements and restrictions:

- .3 the apartment dwelling and the parking shall be located within the area shown as BUILDING AREA, and PARKING AREA on [SCHEDULE C Figure 1 - SECTION-Exception 3304](#);
- .4 the Landscaped Open Space area shall be provided and maintained in the location shown as LANDSCAPED OPEN SPACE on [SCHEDULE C Figure 1 - SECTION-Exception 3304](#);
- .5 the minimum side yard width, minimum rear yard depth and minimum front yard depth shall be as shown on [SCHEDULE C Figure 1 - SECTION-Exception 3304](#);
- .1 the Minimum Lot Width shall be 55 metres;
- .2 the Maximum Floor Space Index shall be 1.24;
- .3 the Maximum Height of the building shall not exceed 5 storeys above the lower ground elevation; and,
- .4 all garbage and refuse storage containers shall be located within the apartment dwelling on the site.

Figure 1



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## 12.3306 Exception 3306

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### 12.3306.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in an ~~R1A-R1M~~, R1A zone.

### 12.3306.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Width:
  - .a Interior Lot: 23 metres
  - .b Corner Lot: 26 metres
- .2 Minimum Yard Depth from lot line abutting Main Street South: 30 metres
- .3 Minimum Interior Side Yard Width: 10 percent of lot width for the first storey or part thereof, 20 percent of lot width for 2 or more storeys.
- .4 Minimum Exterior Side Yard Width: the greater of 3 metres or the required interior side yard width.
- .5 Maximum Gross Residential Floor Area: 750 square metres, subject to the following:
  - .a Maximum Gross Residential Floor Area shall be dictated by a sliding scale floor space index which operates as follows:
    - .i for lots of 450 square metres or less, a floor space index of 0.52 times the lot area applies;
    - .ii for lots of 450 square metres to 750 square metres, floor space index of 0.52 is reduced by 0.02 for each additional 50 square metres of lot area in excess of 450 square metres to a floor index of 0.40 times the lot area for a lot of 750 square metres;
    - .iii for lots of 750 square metres to 1000 square metres, floor space index of 0.40 is reduced by 0.01 for each additional 50 square metres of lot area in excess of 750 square metres to a floor space index of 0.35 times the lot area for a lot of 1000 square metres; and
    - .iv for lots in excess of 1000 square metres, a floor space index of 0.35 times the lot area applies to a maximum gross residential floor area of 750 square metres.

### 12.3307 Exception 3307

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#### 12.3307.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in an ~~RIA~~ **R1M, R1A** zone;

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#### 12.3307.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Width:
  - .a Interior Lot: 23 metres
  - .b Corner Lot: 26 metres
- .2 Minimum Yard Depth from lot line abutting Main Street South: 20 metres
- .3 Minimum Interior Side Yard Width: 10 percent of lot width for the first storey or part thereof, 20 percent of lot width for 2 or more storeys.
- .4 Minimum Exterior Side Yard Width: the greater of 3 metres or the required interior side yard width.
- .5 Maximum Gross Residential Floor Area: provisions of ~~section-Exception~~ **12.3306.2.5** apply.

## 12.3308 Exception 3308

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### 12.3308.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in an **RIA** zone;

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### 12.3308.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Width:
  - .a Interior Lot: 23 metres
  - .b Corner Lot: 26 metres
- .2 Minimum Yard Depth from lot line abutting Main Street South: 40 metres
- .3 Minimum Interior Side Yard Width: 10 percent of lot width for the first storey or part thereof, 20 percent of lot width for 2 or more storeys.
- .4 Minimum Exterior Side Yard Width: the greater of 3 metres or the required interior side yard width.
- .5 Maximum Gross Residential Floor Area: provisions of **Section-Exception 12.3306.2.5** apply.

## 12.3309 Exception 3309

### 12.3309.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in an ~~R2B(1)~~ **R1A** zone.

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### 12.3309.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Width for all permitted purposes:
- .a Interior Lot: 23 square metres
  - .b Corner Lot: 26 square metres
- .2 Minimum Yard Depth from lot line abutting Main Street South: 20 metres
- .3 Minimum Interior Side Yard Width: 10 percent of lot width for the first storey or part thereof, 20 percent of lot width for 2 or more storeys.
- .4 Minimum Exterior Side Yard Width: the greater of 3 metres or the required interior side yard width.
- .5 Maximum Gross Residential Floor Area: 750 square metres, subject to the following:
- .a Maximum Gross Residential Floor Area shall be dictated by a sliding scale floor space index which operates as follows:
    - .i for lots of 450 square metres or less, a floor space index of 0.52 times the lot area applies;
    - .ii for lots of 450 square metres to 750 square metres, floor space index of 0.52 is reduced by 0.02 for each additional 50 square metres of lot area in excess of 450 square metres to a floor space index of 0.40 times the lot area for a lot of 750 square metres;
    - .iii for lots of 750 square metres to 1000 square metres, floor space index of 0.40 is reduced by .01 for each additional 50 square metres of lot area in excess of 750 square metres to a floor space index of 0.35 times the lot area for a lot of 1000 square metres; and
    - .iv for lots in excess of 1000 square metres, a floor space index of 0.35 times the lot area applies to a maximum gross residential floor area of 750 square metres.

### 12.3310 Exception 3310

#### 12.3310.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in an ~~R1B~~ **R1A** zone.

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#### 12.3310.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Yard Depth from lot line abutting Main Street South: 10 metres
- .2 Minimum Interior Side Yard Width: 10 percent of lot width for the first storey or part thereof, 20 percent of lot width for 2 or more storeys.
- .3 Minimum Exterior Side Width: the greater of 3 metres or the required interior side yard width.
- .4 Maximum Gross Residential Floor Area: 550 square metres, subject to the following:
  - .a Maximum Gross Residential Floor Area shall be dictated by a sliding scale floor space index which operates as follows:
    - .i for lots of 450 square metres or less, a floor space index of 0.52 times the lot area applies;
    - .ii for lots of 450 square metres to 750 square metres, floor space index of 0.52 is reduced by 0.02 for each additional 50 square metres of lot area in excess of 450 square metres to a floor space index of 0.40 times the lot area for a lot of 750 square metres;
    - .iii for lots of 750 square metres to 1000 square metres, floor space index of 0.40 is reduced by 0.01 for each additional 50 square metres of lot area in excess of 750 square metres to a floor space index of 0.35 times the lot area for a lot of 1000 square metres; and
    - .iv for lots in excess of 1000 square metres, a floor space index of 0.35 times the lot area applies to a maximum gross residential floor area of 550 square metres.

### 12.3311 Exception 3311

#### 12.3311.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in a **R1A** zone.

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#### 12.3311.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Width:
- .a Interior Lot: 23 metres
  - .b Corner Lot: 26 metres
- .2 Minimum Yard Depth from lot line abutting Main Street South: 10 metres.
- .3 Minimum Interior Side Yard Width: 10 percent of lot width for the first storey or part thereof, 20 percent of lot width for 2 or more storeys.
- .4 Minimum Exterior Side Yard Width: the greater of 3 metres or the required interior side yard width.
- .5 Maximum Gross Residential Floor Area: 750 square metres, subject to the following:
- .a Maximum Gross Residential Floor Area shall be dictated by a sliding scale floor space index which operates as follows:
    - .i for lots of 450 square metres or less, a floor space index of 0.52 times the lot area applies;
    - .ii for lots of 450 square metres to 750 square metres, floor space index of 0.52 is reduced by 0.02 for each additional 50 square metres of lot area in excess of 450 square metres to a floor space index of 0.40 times the lot area for a lot of 750 square metres;
    - .iii for lots of 750 square metres to 1000 square metres, floor space index of 0.40 is reduced by 0.01 for each additional 50 square metres of lot area in excess of 750 square metres to a floor space index of 0.35 times the lot area for a lot of 1000 square metres; and
    - .iv for lots in excess of 1000 square metres, a floor space index of 0.35 times the lot area applies to a maximum gross residential floor area of 750 square metres.

## 12.3312 Exception 3312

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### 12.3312.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in a **R1A-R1M, R1A zone**.

### 12.3312.2 The lands shall be subject to the following requirements and restrictions:

- .2 Minimum Lot Width:
  - .a Interior Lot: 23 metres
  - .b Corner Lot: 26 metres
- .3 Minimum Yard Depth from lot line abutting Main Street South: 15 metres.
- .4 Minimum Interior Side Yard Width: 10 percent of lot width for the first storey or part thereof, 20 percent of lot width for 2 or more storeys.
- .5 Minimum Exterior Side Yard Width: the greater of 3 metres or the required interior side yard width.
- .6 Maximum Gross Residential Floor Area: provisions of **Section-Exception 12.3311.2.5** apply. lot area applies to a maximum gross residential floor area of 750 square metres.

### 12.3313 Exception 3313

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#### **12.3313.1 The lands shall only be used for the following purposes:**

- .1 a single detached dwelling;
- .2 purposes accessory to the other permitted uses; and
- .3 a home occupation.

#### **12.3313.2 The lands shall be subject to the following requirements and restrictions:**

- .1 Minimum Yard Depth from lot line abutting Main Street South: 15 metres
- .2 Minimum Interior Side Yard Width: 10 percent of lot width for the first storey or part thereof, 20 percent of lot width for 2 or more storeys.
- .3 Minimum Exterior Side Yard Width: the greater of 3 metres or the required interior side yard width.
- .4 Maximum Gross Residential Floor Area: 550 square metres, subject to the following:
  - .a Maximum Gross Residential Floor Area shall be dictated by a sliding scale floor space index which operates as follows:
    - .i for lots of 450 square metres or less, a floor space index of 1.52 times the lot area applies;
    - .ii for lots of 450 square metres to 750 square metres, floor space index of 0.52 is reduced by 0.02 for each additional 50 square metres of lot area in excess of 450 square metres to a floor space index of 0.40 times the lot area for a lot of 750 square metres;
    - .iii for lots of 750 square metres to 1000 square metres, floor space index of 0.40 is reduced by 0.01 for each additional 50 square metres of lot area in excess of 750 square metres to a floor space index of 0.35 times the lot area for a lot of 1000 square metres; and
    - .iv for lots in excess on 1000 square metres, a floor space index of 0.35 times the lot area applies to a maximum gross residential floor area of 550 square metres.

## 12.3314 Exception 3314

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### 12.3314.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in a ~~R3B~~ R2 zone.

### 12.3314.2 The lands shall be subject to the following requirements and restrictions:

- .1 each dwelling unit shall have direct pedestrian access from the front yard to the rear yard without having to pass through any habitable room;
- .2 the Maximum Number of Dwelling Units which may be attached shall not exceed 8;
- .3 the Minimum Lot Area per dwelling unit shall be: Interior Lot: 185 square metres; and, Corner Lot: 275 square metres.
- .4 the Minimum Lot Width per dwelling unit shall be: Interior Lot: 6 metres; and, Corner Lot: 9 metres.

## 12.3316 Exception 3316

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### **12.3316.1 The lands shall only be used for the following purposes:**

- .1 shall only be used for the purposes permitted in a ~~R1D-R1A~~ zone.

### **12.3316.2 The lands shall be subject to the following requirements and restrictions:**

- .1 no building shall be located closer than 14 metres to Chinguacousy Road.

### 12.3317 Exception 3317

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#### **12.3317.1 The lands shall only be used for the following purposes:**

- .1 shall only be used for the purposes permitted in a ~~R3B~~ **R2** zone.

#### **12.3317.2 The lands shall be subject to the following requirements and restrictions:**

- .1 each dwelling unit shall have direct pedestrian access from the front yard to the rear yard without having to pass through any habitable room;
- .2 the Maximum Number of Dwelling Units which may be attached shall not exceed 8;
- .3 the Minimum Lot Area per dwelling unit shall be: Interior Lot: 185 square metres; and, Corner Lot: 275 square metres.
- .4 the Minimum Lot Width per dwelling unit shall be: Interior Lot: 6 metres; and, Corner Lot: 9 metres.
- .5 no building shall be located closer than 14 metres to Chinguacousy Road.

### 12.3320 Exception 3320

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#### 12.3320.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in an **L1** zone.

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#### 12.3320.2 The lands shall be subject to the following requirements and restrictions:

- .1 no buildings or structures, including swimming pools, shall be located closer than 7.5 metres to any lands zoned **OS-NS - SECTION-Exception 12,3418.**

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## 12.3327 Exception 3327

### 12.3327.1 The lands shall only be used for the following purposes:

either:

- .1 offices accessory to a funeral home as a temporary use until June 9, 2000; and,
- .2 purposes accessory to the other permitted purpose.

or:

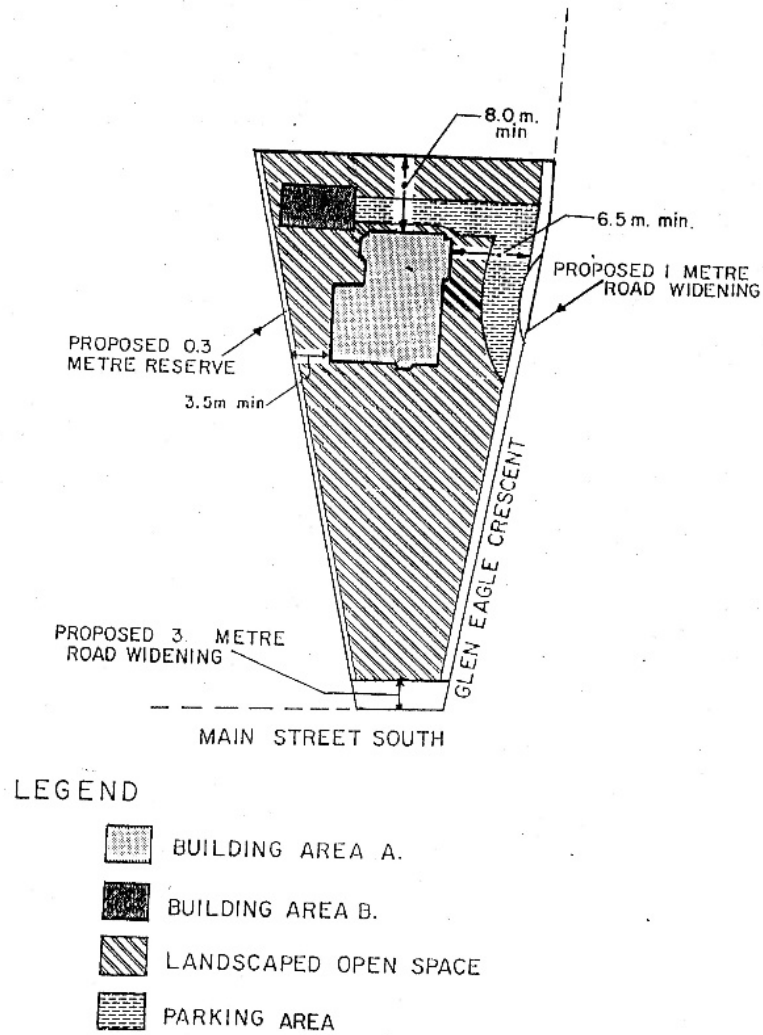
- .3 purposes permitted in a **R1A** zone.

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### 12.3327.2 The lands shall be subject to the following requirements and restrictions:

- .4 all buildings shall be located within the areas shown as BUILDING AREA A and BUILDING AREA B on **SCHEDULE C Figure 1 - SECTION-Exception 3327** to this by-law;
- .5 Landscaped Open Space shall be provided and maintained in the areas shown as LANDSCAPED OPEN SPACE on **SCHEDULE C Figure 1 - SECTION-Exception 3327** to this by-law;
- .6 all Parking Spaces shall be provided in the area shown as PARKING AREA on **SCHEDULE C Figure 1 - SECTION-Exception 3327** to this by-law;
- .1 Parking on the site shall be provided in accordance with the following provisions:
  - .a Minimum parking
    - .i office accessory to a funeral home - 1 parking space for every 31 square metres of gross commercial floor area or portion thereof;
- .2 one parking space shall be provided in the area identified as BUILDING AREA B on **SCHEDULE C Figure 1 - Exception-SECTION 3327** to this by-law;
- .3 garbage and refuse storage facilities shall be self-contained within a building on the site;
- .4 no floodlighting shall be permitted on the site;
- .5 the Maximum Height of all buildings on the site shall not exceed 1 storey;
- .6 the Maximum Gross Floor Area to be used as offices accessory to a funeral home shall not exceed 124 square metres;
- .7 the buildings located on the site shall be residential type buildings in appearance and shall be compatible with the residential buildings in the surrounding area; and,
- .8 the offices accessory to a funeral home as a temporary use shall no longer be permitted after June 9, 2000. width.

**Figure 1**



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## 12.3329 Exception 3329

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### **12.3329.1 The lands shall only be used for the following purposes:**

- .1 a motor vehicle repair shop;
- .2 a bingo hall;
- .3 a dance hall;
- .4 a roller skating rink; or,
- .5 a bowling alley.

## 12.3330 Exception 3330

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### 12.3330.1 The lands shall only be used for the following purposes:

- .1 an apartment dwelling.

### 12.3330.2 The lands shall be subject to the following requirements and restrictions:

- .1 the Minimum Lot Width shall be 45.0 metres;
- .2 the Minimum Front Yard Depth shall be 11.0 metres;
- .3 the Minimum Side Yard Width shall be 12.0 metres;
- .4 the Maximum Building Height shall not exceed 13 storeys;
- .5 the Maximum Gross Floor Area shall not exceed 9325 square metres;
- .6 the Maximum Floor Space Index shall not exceed 1.69;
- .7 the Maximum Number of Dwelling Units shall not exceed 122; and,
- ~~.8 a minimum of 1.4 parking spaces shall be provided per dwelling unit which shall include 0.25 spaces per unit as above ground visitor spaces; and,~~
- .9.8 the Minimum Landscaped Open Space shall be 58 percent of the lot area.

### 12.3330.3 for the purposes of ~~section~~ Exception 3330:

- .1 Front Yard shall mean yard extending across the full width of the lot between the front lot line which abuts Beech Street and the nearest main wall of any building or structure on the lot.

## 12.3332 Exception 3332

### 12.3332.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in a **R1D-R1M zone**.

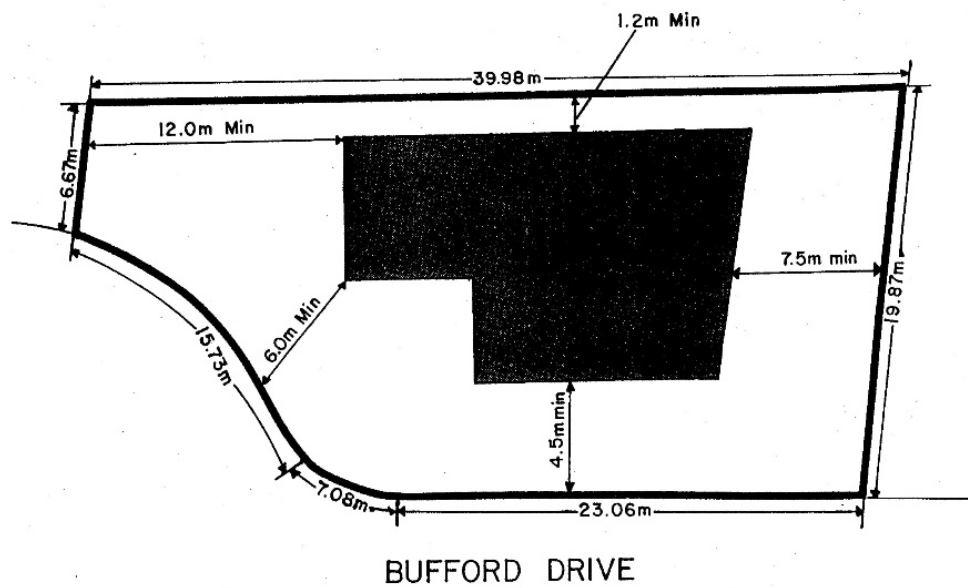
### 12.3332.2 The lands shall be subject to the following requirements and restrictions:

- .1 the dwelling shall be situated within the area shown as BUILDING ENVELOPE on **SCHEDULE C Figure 1 - SECTION-Exception 3332**;
- .2 the Minimum Lot Dimensions shall be as shown on **SCHEDULE C Figure 1 - SECTION-Exception 3332**;
- .3 the minimum front yard depth, rear yard depth and side yard widths shall be as shown on **SCHEDULE C Figure 1 - SECTION-Exception 3332**;
- .4 the Minimum Lot Area shall be 320 square metres; and,
- .5 no windows shall be permitted on the second storey along the north-west wall of any dwelling unit.

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**Figure 1**



**LEGEND**

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■ BUILDING ENVELOPE

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### 12.3333 Exception 3333

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#### 12.3333.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in an **RIMR1D zone**.

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#### 12.3333.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Width: Corner Lot: 11 metres.
- .2 Minimum Lot Depth: 28 metres; and
- .3 Minimum Lot Area: Corner Lot: 325 square metres.
- .4 for lots that abut an Open Space zone a private uncovered swimming pool shall be permitted in the rear yard provided that it is no closer than 7.5 metres to any rear lot line and no closer than 1.2 metres to any side lot line.

## 12.3334 Exception 3334

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### **12.3334.1 The lands shall only be used for the following purposes:**

- .1 flood and erosion control; and,
- .2 conservation area or purpose.

### **12.3334.2 The lands shall be subject to the following requirements and restrictions:**

- .1 no person shall erect, alter or use any building or structure for any purpose except that of flood or erosion control.

### 12.3335 Exception 3335

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#### 12.3335.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in **an RID-RIM zone**.

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#### 12.3335.2 The lands shall be subject to the following requirements and restrictions:

- .1 a private, uncovered swimming pool shall be permitted in the rear or side yard of a lot provided that it is no closer than 7.5 metres to any rear lot line and no closer than 1.2 metres to any side lot line or easement.

## 12.3336 Exception 3336

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### 12.3336.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in a **R1C-R1M zone**.

### 12.3336.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area:
  - .a Interior Lot: 280 square metres; and,
  - .b Exterior Lot: 325 square metres.
- .2 Minimum Lot Width:
  - .a Interior Lot: 12.0 metres; and,
  - .b Exterior Lot: 13.6 metres.
- .3 Minimum Lot Depth: 24.0 metres;
- .4 Minimum Front Yard Depth:
  - .a to the main wall of the building: 4.5 metres; and,
  - .b to the front of a garage or carport: 6.0 metres;
- .5 Minimum Side Yard Width:
  - .a for a side yard flanking a road allowance:
    - .i where the dwelling unit and the garage or carport both face the front lot line: 2 metres; and,
    - .ii where a garage or carport faces a side lot line: 2 metres for the dwelling unit and 6 metres for the garage or carport.
  - .b for a side yard flanking a public walkway or lands zoned OS: 1.2 metres, plus 0.6 metres for each additional storey above the first;
  - .c for other side yards: 0 metres, provided that:
    - .i the distance between the walls of two dwellings is not less than 1.8 metres;
    - .ii where the distance between the walls of two dwellings is less than 2.4 metres, no window below grade, or door, will be permitted in any such wall; and,
    - .iii the total combined width of abutting side yards on any two lots is not less than 1.8 metres.

## 12.3337 Exception 3337

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### 12.3337.1 The lands shall only be used for the following purposes:

- .1 flood and erosion control; and,
- .2 conservation area or purpose.

### 12.3337.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area:
  - .a Interior Lot: 270.0 square metres; and,
  - .b Corner Lot: 350.0 square metres.
- .2 Minimum Lot Width:
  - .a Interior Lot: 9.0 metres; and,
  - .b Corner Lot: 11.7 metres.
- .3 Minimum Front Yard Depth:
  - .a to the main wall of the building: 4.5 metres; and,
  - .b to the front of a garage or carport: 6.0 metres;
- .4 Minimum Side Yard Width:
  - .a for a side yard flanking a road allowance:
    - .i where the dwelling unit and the garage or carport both face the front lot line: 3.0 metres; and,
    - .ii where a garage or carport faces a side lot line: 3.0 metres for the dwelling unit and 6 metres for the garage or carport.
  - .b for other side yards: 0 metres, provided that:
    - .i the distance between the walls of two dwellings is not less than 1.8 metres;
    - .ii where the distance between the walls of two dwellings is less than 2.4, no window below grade, or door, will be permitted in any such wall; and,
    - .iii the total combined width of abutting side yards on any two lots is not less than 1.8 metres.

## 12.3338 Exception 3338

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### 12.3338.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in an ~~R3B~~ R2 zone.

### 12.3338.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Depth: 24.0 metres;
- .2 Minimum Front Yard Depth: 4.5 metres provided that the front of any garage or carport shall not be closer than 6 metres to the front lot line;
- .3 Maximum Building Height: 11 metres; and,
- .4 Minimum Rear Yard Depth: 6.9 metres.

### 12.3339 Exception 3339

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#### **12.3339.1 The lands shall only be used for the following purposes:**

- .1 Residential:
  - .a an apartment dwelling.
- .2 Non-Residential:
  - .a purposes accessory to the other permitted purposes.

#### **12.3339.2 The lands shall be subject to the following requirements and restrictions:**

- .1 Minimum Lot Width: 33 metres;
- .2 Minimum Front Yard Depth: 7.5 metres;
- .3 Minimum Interior Side Yard Width: 12 metres;
- .4 Minimum Rear Yard Depth: 30 metres;
- .5 Maximum Building Height: 11 storeys;
- .6 Maximum Lot Coverage by principal building: 15 percent;
- .7 Maximum Floor Space Index: 1.56;
- .8 Maximum Density: 60 units per acre;
- .9 Minimum Landscaped Open Space: 55 percent of the lot area;
- .10 Maximum Number of Dwelling Units: 133; and,
- .11 Minimum Number of Parking Spaces: 1.4 spaces per unit (1.2 spaces per unit plus 0.2 spaces of visitor parking per unit).

## 12.3340 Exception 3340

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### 12.3340.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in an ~~R1D-R1M~~ zone.

### 12.3340.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area Interior lot: 300 square metres Corner lot: 390 square metres
- .2 Minimum Lot Width Interior lot: 10.0 metres Corner Lot: 13.0 metres

### 12.3343 Exception 3343

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#### 12.3343.1 The lands shall only be used for the following purposes:

- .1 an automated truck fuelling facility; and,
- .2 purposes accessory to other permitted purposes

#### 12.3343.2 The lands shall be subject to the following requirements and restrictions:

- .1 the total area devoted to the automated truck fuelling facility shall not exceed 3,500 square metres;
- .2 the Minimum Lot Width shall be 53 metres;
- .3 repairs and other vehicular services shall not be permitted;
- .4 all garbage and refuse containers will be enclosed; and
- .5 no outside storage shall be permitted.

#### 12.34463.3 for the purposes of ~~section-Exception 34463~~:

- .1 for purposes of ~~Section-Exception 12.3343~~, Automated Truck Fuelling Facility shall mean a building or place where gasoline, diesel and other truck fuels are kept for sale by the operation of an electrically coded card for corporate use only, and shall not include the sale of fuel to the general public.

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## 12.3344 Exception 3344

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### **12.3344.1 The lands shall only be used for the following purposes:**

- .1 shall only be used for the purposes permitted in a **M1-PE** zone.

### **12.3344.2 The lands shall be subject to the following requirements and restrictions:**

- .1 Minimum Interior Side Yard Width: 1.2 metres where it abuts a residential zone; and,
- .2 Minimum Lot Width: 19.5 metres.

## 12.3347 Exception 3347

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### 12.3347.1 The lands shall only be used for the following purposes:

- .1 an apartment dwelling;
- .2 townhouse dwellings, and
- .3 purposes accessory to the other permitted purposes.

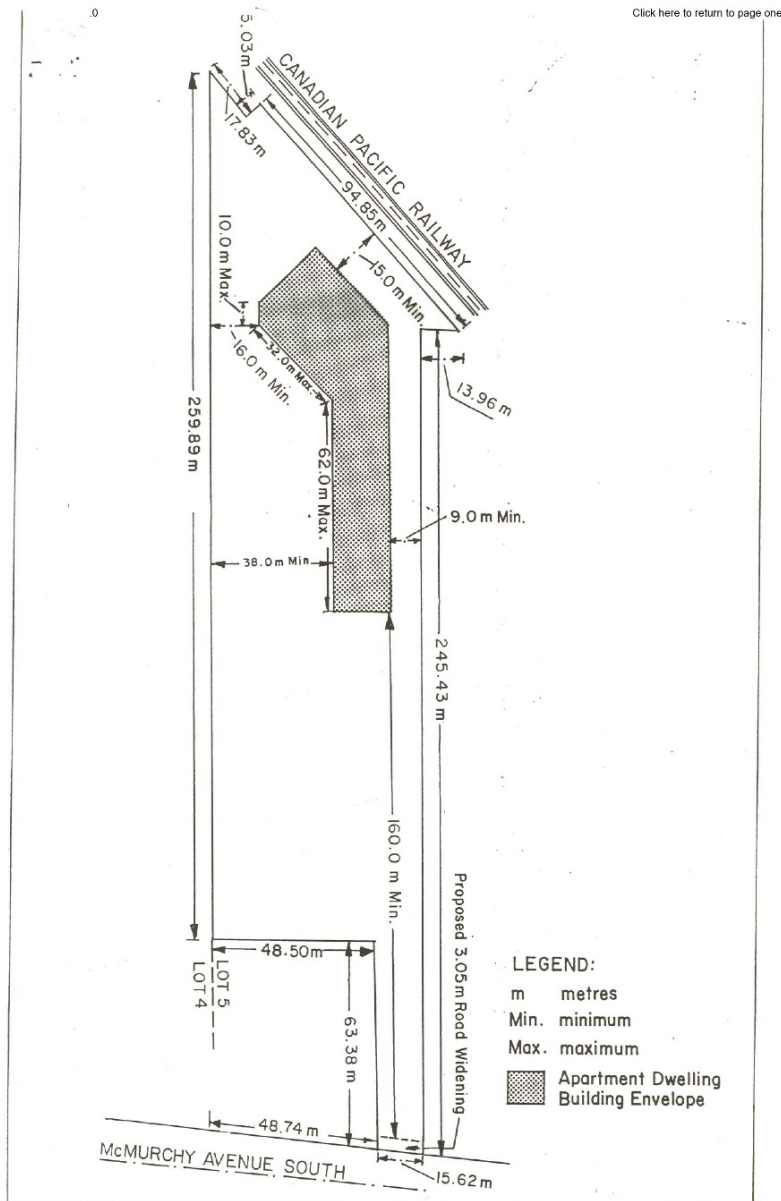
### 12.3347.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Width: 15.0 metres
- .2 Minimum Front Yard Depth: 70.0 metres for a townhouse dwelling;
- .3 Minimum Side Yard Width: 7.5 metres for a townhouse dwelling;
- .4 an apartment dwelling shall only be located within the Apartment Dwelling Building Envelope as shown **on Schedule C Figure 1 - Section Exception 3347.**
- .5 Minimum Rear Yard Depth: 15.0 metres.
- .6 Maximum Building Height:
  - .a 8 storeys for an apartment dwelling;
  - .b 2 storeys for a townhouse dwelling.
- .7 Maximum Lot Coverage by principal buildings: 23 percent of the lot area.
- .8 Maximum Floor Space Index: 1.0
- .9 Minimum Landscaped Open Space:
  - .a 54 percent of the lot area including a continuous 5.0 metre wide landscaped open space area along the south property line, shall be provided and maintained where it abuts a residential zone;
  - .b a minimum area of 790 square metres of the apartment dwelling's roof top area shall be provided and maintained as a landscaped area.
- .10 the Maximum Number of Dwelling Units for an apartment dwelling shall not exceed 126.
- .11 the Maximum Number of townhouse dwelling units shall not exceed 22.
- .12 the Maximum Number of Dwelling Units per townhouse dwelling shall not exceed 8.
- .13 the underground parking garage shall be located no closer than 8.0 metres from the south property line and 1.5 metres from any other property line.
- .14 all Visitor Parking Spaces for the townhouse dwelling units and the apartment dwelling units shall be located on grade.

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.15 all Resident Parking Spaces for the apartment dwelling shall be located below grade

**Figure 1**



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## 12.3364 Exception 3364

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### 12.3364.1 The lands shall only be used for the following purposes:

- .1 the purposes permitted in the ~~R2C~~R1M zone.

### 12.3364.2 The lands shall be subject to the following requirements and restrictions:

- .1 no building shall be located closer than 13 metres to the Canadian National Railway property line;
- .2 Minimum Lot Depth: 45 metres
- .3 Minimum Rear Yard Depth: 22.5 metres.

### 12.3365 Exception 3365

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#### 12.3365.1 The lands shall only be used for the following purposes:

- .1 the purposes permitted in the **R2C-R1A** zone.

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#### 12.3365.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Depth: 36 metres
- .2 Minimum Rear Yard Depth: 14 metres.

## 12.3366 Exception 3366

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### 12.3366.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in a ~~R3B-R2~~ zone.

### 12.3366.2 The lands shall be subject to the following requirements and restrictions:

- .1 each dwelling unit shall have direct pedestrian access from the front yard to the rear yard with no more than a two step grade difference inside the unit and without having to pass through a non-habitable room.
- .2 a maximum of 8 dwelling units and a minimum of 3 dwelling units shall be attached.

### 12.3367 Exception 3367

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#### **12.3367.1 The lands shall only be used for the following purposes:**

- .1 the purposes permitted in the **R2C-R1M** zone.

#### **12.3367.2 The lands shall be subject to the following requirements and restrictions:**

- .1 no building shall be located closer than 13 metres to the Canadian National Railway property line;
- .2 Minimum Lot Depth: 45 metres
- .3 Minimum Rear Yard Depth: 22.5 metres.

## 12.3369 Exception 3369

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### 12.3369.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in a ~~R3B-R2~~ zone.

### 12.3369.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area per dwelling unit: Interior Lot: 180 square metres Corner Lot: 265 square metres
- .2 Minimum Lot Width per dwelling unit: Interior Lot: 6 metres Corner Lot: 9 metres
- .3 where a garage faces a side lot line, the minimum setback to the front of the garage shall be 6.0 metres;
- .4 each dwelling unit shall have direct pedestrian access from the front yard to the rear yard with no more than a two step grade difference inside the unit and without having to pass through a habitable room; and,
- .5 a maximum of 8 dwelling units and a minimum of 3 dwelling units shall be attached.

## 12.3370 Exception 3370

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### 12.3370.1 The lands shall only be used for the following purposes:

- .1 a retail establishment, including a wine, liquor or beer outlet, having no outside storage;
- .2 a supermarket;
- .3 a service shop;
- .4 a personal service shop;
- .5 a bank, trust company and finance company, with or without a drive through facility;
- .6 an office;
- .7 a dry cleaning and laundry distribution station;
- .8 a laundromat;
- .9 a parking lot;
- .10 a dining room restaurant, a take out restaurant, and a convenience restaurant, with or without a drive through facility;
- .11 a printing or copying establishment;
- .12 a commercial school;
- .13 a garden centre sales establishment;
- .14 a fitness centre;
- .15 a health centre;
- .16 a tavern;
- .17 a custom workshop;
- .18 a convenience store;
- .19 a library;
- .20 a day nursery; and,
- .21 purposes accessory to the other permitted purposes.
- .22 a place of commercial recreation, adult entertainment parlours, billiard parlours, pool halls, amusement arcades, adult video rental stores and temporary open air markets shall not be permitted.

**12.3370.23 The lands shall be subject to the following requirements and restrictions:**

- .1 the Maximum Gross Leasable Commercial Floor Area of all buildings and structures shall not exceed 8,547 square metres;
- .2 the Maximum Gross Leasable Commercial Floor Area for a supermarket shall not exceed 5,518.0 square metres;
- .3 Minimum Interior Side Yard Width: 9.0 metres;
- .4 Minimum Rear Yard Depth: 9.0 metres;  
(355-06)
- .5 Minimum Front Yard Depth: 3.0 metres, including adjacent to a daylight triangle.  
(355-06)
- .6 Minimum Exterior Side Yard Width: 4.5 metres;
- .7 Maximum Building Height: 1 storey, including a mezzanine;
- .8 restaurant refuse storage shall be enclosed in a climate controlled area within a building;
- .9 all garbage and refuse storage, including any containers for the storage of recyclable materials, shall be enclosed within a building;
- .10 except for driveway locations, landscaped open space shall be provided as follows:
  - .a a minimum 3.0 metre wide strip along the south and east property boundaries;
  - .b a minimum 1.5 metre wide strip along the north and west property boundaries not abutting Queen Street West or Chinguacousy Road;
  - .c a minimum 4.5 metre wide strip abutting Queen Street West; and,
  - .d a minimum 3.0 metre wide strip abutting Chinguacousy Road.
 (355-06)
- .11 One parking space per each 19 square metres of gross commercial floor area shall be provided

## 12.3372 Exception 3372

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### 12.3372.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in a ~~R1D-R1M~~, R1A zone.

### 12.3372.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Depth: 33.0 metres
- .2 Minimum Rear Yard Depth: 10.5 metres

### 12.3373 Exception 3373

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#### **12.3373.1 The lands shall only be used for the following purposes:**

- .1 shall only be used for the purposes permitted in a ~~R1D-R1M~~ zone.

#### **12.3373.2 The lands shall be subject to the following requirements and restrictions:**

- .1 Minimum Lot Depth: 31.3 metres
- .2 Minimum Rear Yard Depth: 10.5 metres

## 12.3376 Exception 3376

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### 12.3376.1 The lands shall only be used for the following purposes:

- .1 Residential
  - .a a townhouse dwelling containing street townhouse dwellings; and,
  - .b an auxillary group home
- .2 Non-Residential
  - .a purposes accessory to the other permitted purposes

### 12.3376.2 The lands shall be subject to the following requirements and restrictions:

- .1 Maximum Number of Units: 3
- .2 Minimum Lot Area: Interior Lot: 181 square metres; Corner Lot: 230 square metres;
- .3 Minimum Lot Width per Dwelling Unit: Interior Lot: 7.3 metres; Corner Lot: 9.6 metres;
- .4 Minimum Lot Depth: 24 metres;
- .5 Minimum Front Yard Depth: 4.5 metres, provided that the front of garage or carport shall not be closer than 5.3 metres to the front lot line;
- .6 Minimum Interior Side Yard Width: 1.8 metres;
- .7 Minimum Rear Yard Depth: 6.9 metres;
- .8 a garage shall have a minimum width of 2.75 metres and a maximum width of 3.0 metres;
- .9 each dwelling unit shall have a direct pedestrian access from the front yard to the rear yard with no more than a two step grade difference inside the unit and without having to pass through a habitable room; and,
- .10 for the purposes of this by-law:
  - .a the front lot line shall be the line that divides the lot from Chapel Street; and,
  - .b the flankage lot line shall be the line that divides the lot from John Street.
- .11 Minimum Exterior Side Yard Setback: 2.4 metres

## 12.3377 Exception 3377

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### 12.3377.1 The lands shall only be used for the following purposes:

- .1 The lands designated ~~R3A-R2 - SECTION Exception 3377~~ on Sheet 60 of ~~Schedule A~~ to this by-law shall be subject to the requirements and restrictions of the ~~R3A-R2~~ zone except that more than one accessory building shall be permitted provided that such accessory buildings are used for lot maintenance purposes.

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### 12.3381 Exception 3381

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**12.3381.1 The lands shall only be used for the following purposes:**

- .1 the purposes permitted in an **I1** zone

**12.3381.2 The lands shall be subject to the following requirements and restrictions:**

- .1 Minimum Interior Side Yard Width: 1.7 metres;
- .2 Minimum Rear Yard Depth: 3.0 metres.

### 12.3383B Exception 3383B

#### 12.3383B.1 The lands shall only be used for the following purposes:

- .1 a retail establishment, including a home furnishing establishment, having no outside storage;
- .2 an auction hall;
- .3 a fruit and vegetable store;
- .4 a standard restaurant;
- .5 a dining room restaurant;
- .6 an office excluding a real estate office and office for a physician, dentist or drugless practitioner, and
- .7 purposes accessory to the other permitted purposes

#### 12.3383B.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Front Yard Depth: 10 metres
- .2 Minimum Interior Side Yard Width: 7.5 metres
- .3 Minimum Lot Width: 74 metres
- .4 Maximum Gross Floor Area: 2165 square metres
- .5 Maximum Gross Floor Area for restaurant purposes shall not exceed 123 square metres
- .6 Maximum Building Height: 2 storeys
- .7 the second storey shall only be used for the purposes permitted by ~~section-Exception~~ **12.3383.1(6)**
- .8 Minimum Landscaped Open Space:
  - .a east side yard: 0.9 metres
  - .b west side yard: 1.5 metres
  - .c a minimum 3.0 metre wide landscaped strip along the rear lot line
- .9 all garbage and refuse containers shall be enclosed within the building
- .10 garbage and refuse containers for a restaurant shall be located within a climate controlled area within the building
- .11 a 1.83 metre high solid screen wall shall be provided along both side yard lot lines and the rear lot line.

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## 12.3385 Exception 3385

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### 12.3385.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted by **R2C-R1M, R1A** Zone.

### 12.3385.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area:
  - .a Semi-Detached Dwelling
    - .i Interior Lot: 390 square metres per lot and 195 square metres per dwelling unit;
    - .ii Corner Lot: 498 square metres per lot and 294 square metres for the dwelling unit closest to the flankage lot line;
- .2 Minimum Lot Width:
  - .a Semi-Detached Dwelling
    - .i Interior Lot: 13.6 metres and 6.8 metres per dwelling unit;
    - .ii Corner Lot: 16.6 metres and 9.8 metres for the dwelling unit closest to the flankage lot line;
- .3 Minimum Front Yard Depth: 4.5 metres;
- .4 Minimum Interior Side Yard Width:
  - .a Semi-Detached Dwelling: 1.2 metres except where the common wall of the semi-detached dwelling units coincides with a side lot line, the side yard may be 0 metres;
- .5 where a garage faces a front or side lot line the minimum setback to the front of the garage shall be 6 metres;
- .6 a roofed porch may encroach into the front yard setback by a maximum of 1.5 metres;
- .7 a chimney, chimney breast, porch, uncovered platform, central air conditioning unit or heat pump is not permitted to encroach within the minimum 1.2 metre interior side yard;
- .8 the width of a garage door shall not exceed 50% of the lot width for each dwelling unit; and,
- .9 no building shall be located closer than 14.0 metres to Chinguacousy Road.

### ~~12.3385.3~~ **Section No 3385.3 for the purposes of ~~section-Exception 3385~~Section No.:**

- .1 Lot Width shall mean the least distance measured in a straight line, between the side lot lines, where the side lot lines are parallel, and:

- .2 where such lot lines are not parallel, the lot width shall be the straight line distance between points on the side lot lines measured on a line 6.0 metres back from the front lot line; or,
- .3 in the case of a corner lot having a street line rounding at the corner of a radius of 7.5 metres or less, the lot width of such lot shall be calculated as if the lot lines were produced to their point of intersection.

### 12.3386 Exception 3386

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#### 12.3386.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in a **R3A-R2** zone.

#### 12.3386.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Interior Side Yard Width: 7.5 metres;
- .2 Minimum Landscaped Open Space: 40 percent of the lot area including a
- .3 minimum 3 metre strip along McLaughlin Road except at the location of the driveway;
- .4 a maximum of 8 dwelling units shall be attached;
- .5 a maximum of 24 dwelling units shall be permitted;
- .6 no building or structure, including swimming pools decks, patios or tennis courts, shall be located within 5.0 metres of any lands zoned **Open Space (OS); and,**
- .7 the Minimum Distance between buildings shall be 12 metres.

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## 12.3389 Exception 3389

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### 12.3389.1 The lands shall only be used for the following purposes:

- .1 Commercial:
  - .a those uses permitted by the **Service-Local Commercial (LSC) Zone**;
  - .b a banquet hall
  - .c a motor vehicle sales establishment;
  - .d a motor vehicle washing establishment;
  - .e a retail warehouse;
  - .f a recreational facility;
  - .g a commercial and technical school;
  - .h a service station; and
  - .i purposes accessory to the permitted commercial uses;or
- .2 Industrial:
  - .a those uses permitted in a **M1-PELC Zone**, but not including a motor vehicle body shop; but not both **12.3389.1.1** and **12.3389.1.2** on any one lot, or any combination of **12.3389.1.1** and **12.3389.1.2** on any one lot.

### 12.3389.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area: 14,400 square metres;
- .2 no building shall be located closer than 6.0 metres to Clarence Street;
- .3 no building shall be located closer than 9.0 metres to Rutherford Road;
- .4 Minimum Landscaped Open Space:
  - .a 3.0 metres abutting Clarence Street; and
  - .b 3.0 metres abutting Rutherford Road, except for that portion abutting Rutherford Road north of Clarence Street;
- .5 for the lot north of Clarence Street, no building shall be located closer than 15 metres to the rear lot line; and
- .6 for the lot north of Clarence Street, no building shall be located closer than 24 metres to the point where the rear lot line and the east side lot line intersect.

**12.3389.3 for the purposes of ~~section-Exception~~ 3389:**

- .1 the commercial uses in 12.3389.1.1 shall also be subject to the requirements and restrictions of the ~~SLC Zone~~ and the general provisions of this by-law which are not in conflict with those in 12.3389.2.
- .2 the industrial uses in 12.3389.1.2 shall also be subject to the requirements and restrictions of the ~~M1-PELC Zone~~ and general provisions of this by-law which are not in conflict with those in 12.3389.2.
- .3 for the purpose of this section, a Retail Warehouse shall mean a building or structure, or part of a building or structure, occupied by a single user and having a minimum gross floor area of 465 square metres. The use permitted shall be for the sale of non-food products displayed and stored in a warehouse format.

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## 12.3394 Exception 3394

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### 12.3394.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in the ~~R1C-R1M~~, R1A zone.

### 12.3394.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Width: 11 metres;
- .2 Minimum Lot Depth: 45 metres;
- .3 Minimum Lot Area: 495 square metres; and,
- .4 no dwelling shall be located closer than 14 metres to the right-of-way of Chinguacousy Road.

### 12.3395 Exception 3395

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#### 12.3395.1 The lands shall only be used for the following purposes:

- .1 the purposes permitted by the ~~M2-GE~~ zone;
- .2 the manufacturing and assembling of motor vehicles; and,
- .3 purposes accessory to other permitted purposes.

#### 12.3395.2 The lands shall be subject to the following requirements and restrictions:

- .1 -Minimum Front Yard Depth: 115 metres;
- .2 -Minimum Landscaped Open Space:
- .3 -4.5 metres abutting the front lot line, except at approved access locations; and,
- .4 -3 metres abutting an ~~M1-PE~~ zone;
- .5 -Outside Storage:
- .6 -the storage of goods and materials in the open need not be associated with a building or another industrial operation;
- .7 -Maximum Height: 6 metres; and,
- .8 -no open storage shall be permitted within 3 metres of an ~~M1-PE~~ zone and 11.5 metres of the front lot line.

### 12.3397 Exception 3397

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#### **12.3397.1 The lands shall only be used for the following purposes:**

- .1 shall only be used for the purposes permitted in the ~~R1B-R1M~~ zone

#### **12.3397.2 The lands shall be subject to the following requirements and restrictions:**

- .1 ~~-~~Minimum Lot Depth: 27 metres

## 12.3398 Exception 3398

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### 12.3398.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in **R3A-R2** zone.

### 12.3398.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Width: 8 metres
- .2 Minimum Setback from the east and west property boundaries: 7.5 metres
- .3 Minimum Interior Side Yard: 3 metres
- .4 Minimum Rear Yard Depth: 3 metres
- .5 Minimum Landscaped Open Space: 38% of the lot area
- .6 a maximum of 8 dwelling units shall be attached;
- .7 a maximum of 11 units shall be permitted;
- .8 ~~(8)~~ Parking shall be provided on the basis of 2 spaces per unit plus 0.25 spaces per unit for visitors and 0.05 spaces per unit for recreational vehicles; and
- .9 there shall be no balconies or decks along the westerly wall of the buildings or in the westerly side yard.

## 12.-3399 Exception 3399

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### 12.3399.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in **R3A-R2** zone.

### 12.3399.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Front Yard Depth:
  - .a to a wall of a dwelling unit: 3 metres
  - .b to a wall of a garage facing the front lot line: 6 metres
- .2 Minimum Setback from the north property boundary: 30 metres;
- .3 Minimum Setback from the west property boundary: 15 metres;
- .4 Minimum Setback from the east property boundary: 7.5 metres;
- .5 a maximum of 8 dwelling units shall be attached with the exception that a maximum of one townhouse dwelling may have 9 attached units and a maximum of one townhouse dwelling may have 10 attached units;
- .6 Minimum Distance between two exterior walls both of which contain windows to habitable rooms, not including the width of a private driveway located between such walls: 9 metres;
- .7 Minimum Unit Width: 5.5 metres, but a maximum of 24% of the units may
- .8 have a minimum unit width of 4.7 metres;
- .9 where a garage faces a private road or common driveway, the minimum setback to the front of the garage shall be 6.0 metres; and
- .10 Parking shall be provided on the basis of 2 spaces per unit plus 0.25 spaces per unit for visitors and 0.05 spaces per unit for recreational vehicles.